

November 13, 2017

Ms. Kerry Lippincott  
Geneva Historical Society  
Geneva, New York

RE: Summary of Feasibility Study Requested changes

Dear Kerry:

The purpose of this letter is to summarize Beardsley's findings regarding requested modifications to previous reports provided to the Geneva Historical Society regarding Prouty-Chew and Rose Hill facilities. Handicap accessibility and bathroom renovations at Prouty-Chew are addressed as well as requested floor plan modifications to the Concept Design proposed at the Rose Hill site.

### PROUTY CHEW BATHROOM LAYOUT

- Recommended bathroom renovations layout below. The two existing bathrooms do have the square footage to provide for (2) handicap accessible restrooms without encroaching into the former dark room. This would require building code official approval on fixture count as an existing non-conforming space.
- Proposed modification to bathrooms recommended budgeted amount to be between \$35,000 and \$42,000.



#### AUBURN

64 South Street  
Auburn, New York 13021  
315.253.7301

#### MALONE

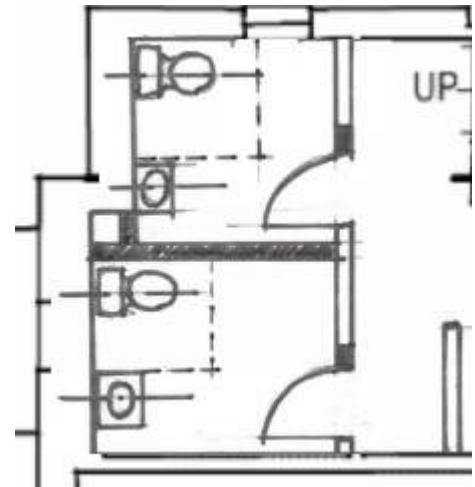
320 West Main Street Suite 2  
Malone, New York 12953  
518.483.1585

#### SYRACUSE

5789 Widewaters Parkway  
DeWitt, New York 13214  
315.472.6980



EXISTING



PROPOSED

**PROUTY CHEW ACCESSIBLE BUILDING ENTRANCE**

Beardsley has determined that if desired – an accessible entrance would be available halfway down the north access driveway. An additional ramp would be required on the interior depending on the exact location of the entrance. Modifications to the existing paving would be required to make the grades work as well.



Also evaluated in the phase was the addition of a Limited Use Limited Application elevator to simply alleviate the access concerns of the existing facility. The marked up floor plans are shown within Appendix A, as well as an updated estimate for this work only.

**ROSE HILL UPDATED PROPOSED FLOOR PLAN**

Following discussions at last review meeting, revisions were made to the schematic floor plan of the proposed new building at the Rose Hill Site. Please see Appendix B for the attached floor plan and updated estimate for review and comment. The main modifications were as follows:

- Placed mechanical room in a small corner basement where grade drops off
- Revised layout of storage and exhibit hall to increase storage
- Archive room

Also attached within Appendix B is the updated estimate for the proposed floorplan.

Please call with any questions.

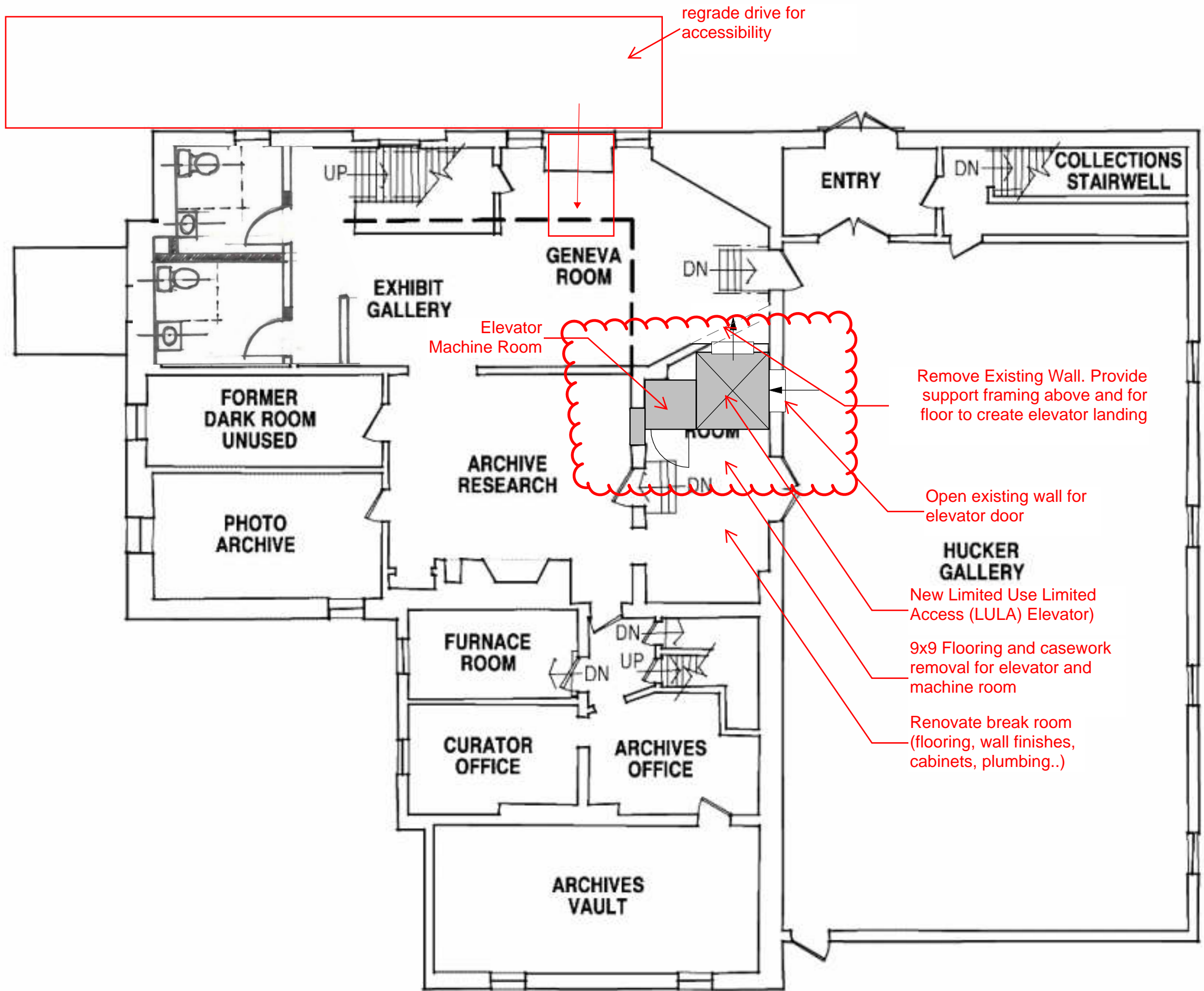
Sincerely,

Joseph S. Kime, P.E.  
President  
Beardsley Architects & Engineers



## APPENDIX A

- Prouty Chew Accessibility First and Second Floor Plan Markups
  - Estimate



regrade drive for accessibility

Elevator Machine Room

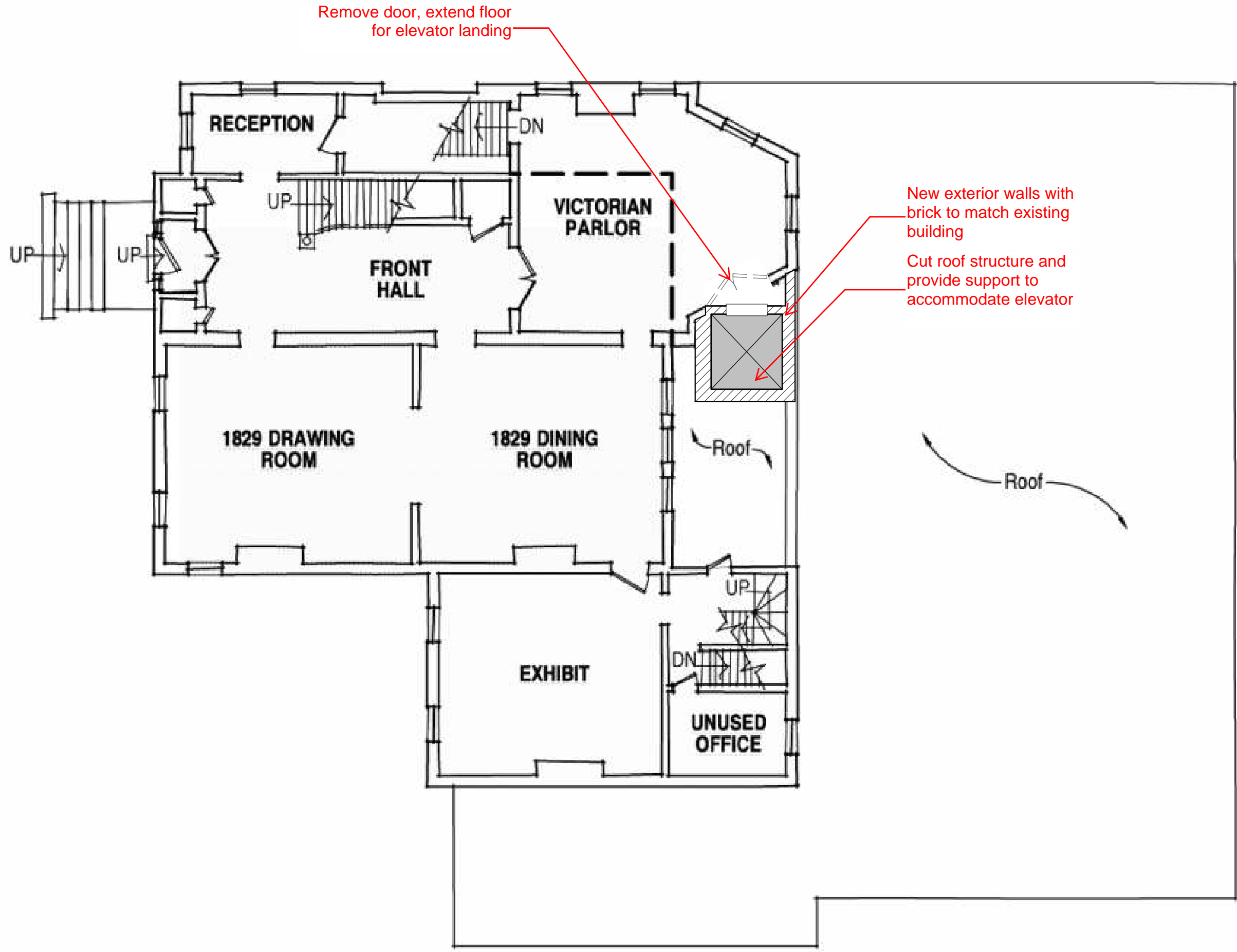
Remove Existing Wall. Provide support framing above and for floor to create elevator landing

Open existing wall for elevator door

HUCKER GALLERY  
New Limited Use Limited Access (LULA) Elevator

9x9 Flooring and casework removal for elevator and machine room

Renovate break room (flooring, wall finishes, cabinets, plumbing..)



Remove door, extend floor  
for elevator landing

New exterior walls with  
brick to match existing  
building

Cut roof structure and  
provide support to  
accommodate elevator

RECEPTION

DN

UP

VICTORIAN  
PARLOR

FRONT  
HALL

1829 DRAWING  
ROOM

1829 DINING  
ROOM

Roof

Roof

EXHIBIT

UP

DN

UNUSED  
OFFICE

# Geneva Historical Society Alterations

Opinion of Probable Project Costs - Accessible entrance, bathroom, and LULA lift only

November 13, 2017

	Qty	Unit	Cost / Unit	Between	
				Minimum	Maximum
<b>ACCESSIBLE ENTRANCE</b>					
<b>Demolition</b>					
Gutting interior, concrete flooring, hazardous abatement, temporary shoring, materials removal, and dump charges	100	sf	\$15.00	\$1,500	\$1,800
<b>New</b>					
Entrance Door	1	ea	\$5,000.00	5,000	6,000
Interior ramp	1	ea	\$6,500.00	6,500	7,800
Site Work	1	ea	\$7,500.00	7,500	9,000
<b>SUBTOTAL</b>				<b>\$20,500</b>	<b>\$24,600</b>
<i>Design and Construction Contingency</i>		15%		3,100	3,700
<b>SOFT COSTS</b>				3,500	4,200
<i>Architectural fees, Code Review, legal costs, hazardous materials survey and testing, fund raising, temporary storage, insurance, equipment and furnishings</i>					
<b>TOTAL PROBABLE ELEVATOR COST - OPTION 1</b>				<b>\$27,100</b>	<b>\$32,500</b>

<b>Toilet Room Renovations</b>					
<b>Demolition</b>					
Existing toilet rooms and associated plumbing	160	sf	\$15.00	\$2,400	\$2,900
<b>New Construction</b>					
New toilet room renovations (accessible)	160	sf	\$150.00	24,000	28,800
<i>Tile, plumbing fixtures, partitions, grab bars, mirrors</i>					
<b>SUBTOTAL</b>				<b>\$26,400</b>	<b>\$31,700</b>
<i>Design and Construction Contingency</i>		15%		4,000	4,800
<b>SOFT COSTS</b>				4,600	5,500
<i>Architectural fees, Code Review, legal costs, hazardous materials survey and testing, fund raising, temporary storage, insurance, equipment and furnishings</i>					
<b>TOTAL PROBABLE RENOVATIONS &amp; ADDITIONS COST - OPTION 2</b>				<b>\$35,000</b>	<b>\$42,000</b>

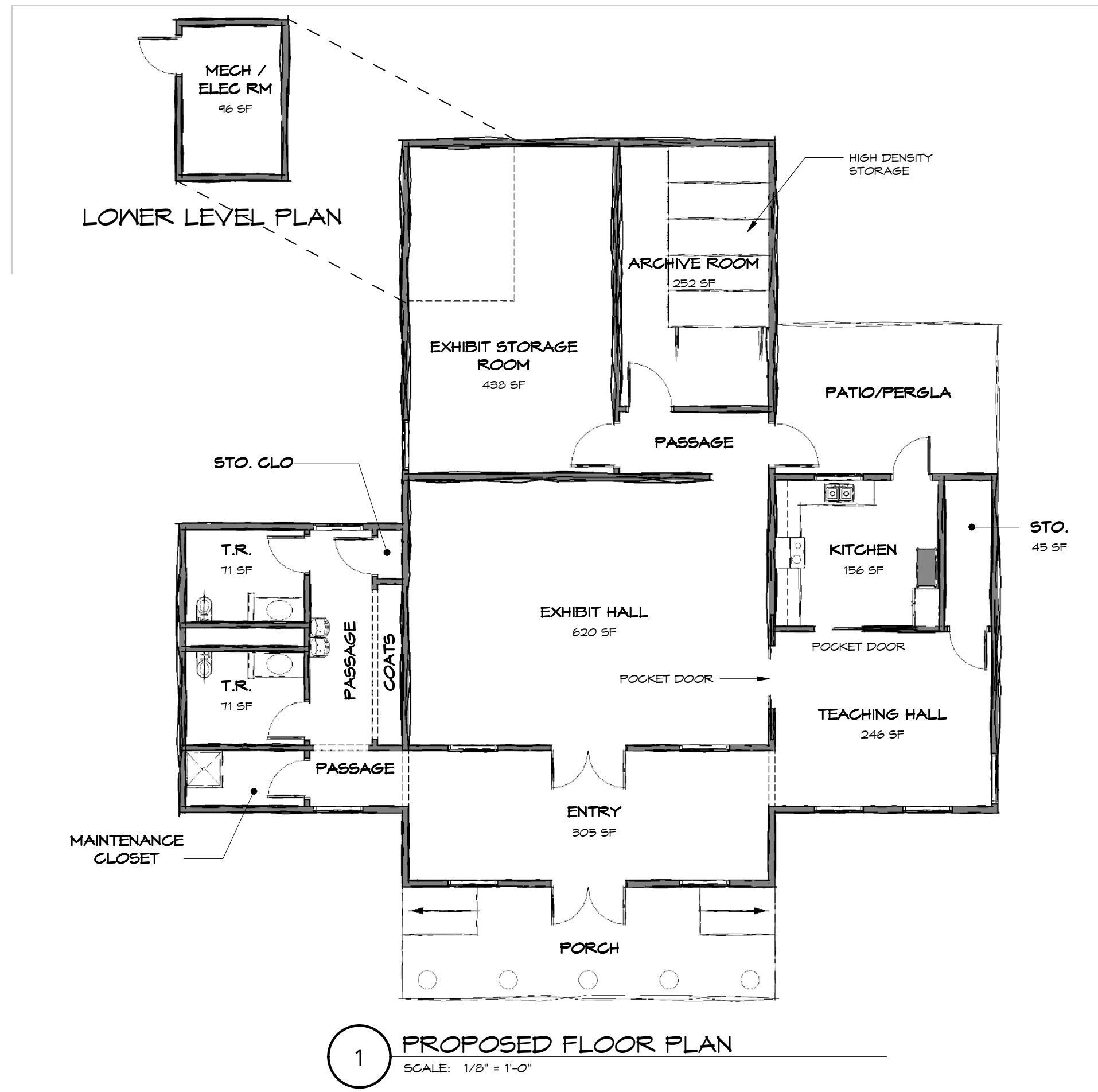
<b>LIMITED USE ACCESS ELEVATOR (LULA)</b>					
Demolition	200	sf	\$15.00	\$3,000	\$3,600
Installation of LULA lift and elevator machine room (3-stop)	1	EA	\$130,000.00	130,000	156,000
<b>SUBTOTAL</b>				<b>\$133,000</b>	<b>\$159,600</b>
<i>Design and Construction Contingency</i>		20%		26,600	31,900
<b>SOFT COSTS</b>				23,900	28,700
<i>Architectural fees, Code Review, legal costs, hazardous materials survey and testing, fund raising, temporary storage, insurance, equipment and furnishings</i>					
<b>TOTAL PROBABLE RENOVATIONS &amp; ADDITIONS COST - OPTION 3</b>				<b>\$183,500</b>	<b>\$220,200</b>

<b>TOTAL ESTIMATED CONSTRUCTION COSTS</b>					
ENTRANCE	OPTION 1			\$27,100	\$32,500
TOILET ROOM RENOVATIONS	OPTION 2			\$35,000	\$42,000
LULA LIFT	OPTION 3			\$183,500	\$220,200
<b>TOTAL PROBABLE CONSTRUCTION COSTS - ALL OPTIONS</b>				<b>\$245,600</b>	<b>\$294,700</b>



## APPENDIX B

- Rose Hill New Build Option Revised Floor Plan
  - Estimate

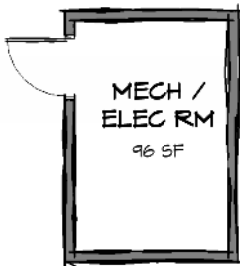


PROPOSED SITE LAYOUT



CONTEXTUAL IMAGE





LOWER LEVEL PLAN



MAINTENANCE  
CLOSET

1

PROPOSED FLOOR PLAN

SCALE: 1/8" = 1'-0"

Geneva Historical Society Alterations - New Construction on Rose Hill Site  
 Opinion of Probable Project Costs - REVISED Base Bid 2,300 square feet

November 12, 2017

	Qty	Unit	Cost / Unit	Between	
				Minimum	Maximum
<b>PROPOSED BUILDING</b>					
<b>Demolition</b>					
Complete removal of barn structure and foundation	800	sf	\$25.00	\$20,000	\$24,000
<b>Site Work</b>					
Septic System	1	ea	\$15,000.00	\$15,000	\$18,000
Tree removal	1	ea	\$5,000.00	\$5,000	\$6,000
Electric Service	1	ea	\$3,000.00	3,000	3,600
General site grading	1	ea	\$10,000.00	10,000	12,000
<b>Building Construction</b>					
Foundation	2,300	sf	\$26.50	61,000	73,200
Framing	2,300	sf	\$25.00	57,500	69,000
Roofing	2,300	sf	\$25.00	57,500	69,000
Windows/Doors	2,300	sf	\$25.00	57,500	69,000
Thermal envelope	2,300	sf	\$10.00	23,000	27,600
Interior finishes	2,300	sf	\$25.00	57,500	69,000
Exterior finishes	2,300	sf	\$20.00	46,000	55,200
Mechanical	2,300	sf	\$20.00	46,000	55,200
Electrical	2,300	sf	\$20.00	46,000	55,200
Plumbing (including sprinklers)	2,300	sf	\$15.00	34,500	41,400
		sum/sf:	\$211.50		
<b>SUBTOTAL</b>				<b>\$539,500</b>	<b>\$647,400</b>
<i>Design and Construction Contingency</i>		15%		80,900	97,100
<i>GC overhead and profit</i>		15%		80,900	97,100
<b>SOFT COSTS</b>					
<i>Architectural fees, permitting, hazardous materials survey and testing, geotechnical report, site survey</i>		20%		140,300	168,300
<b>TOTAL PROBABLE COST OF CONSTRUCTION</b>				<b>\$841,600</b>	<b>\$1,009,900</b>

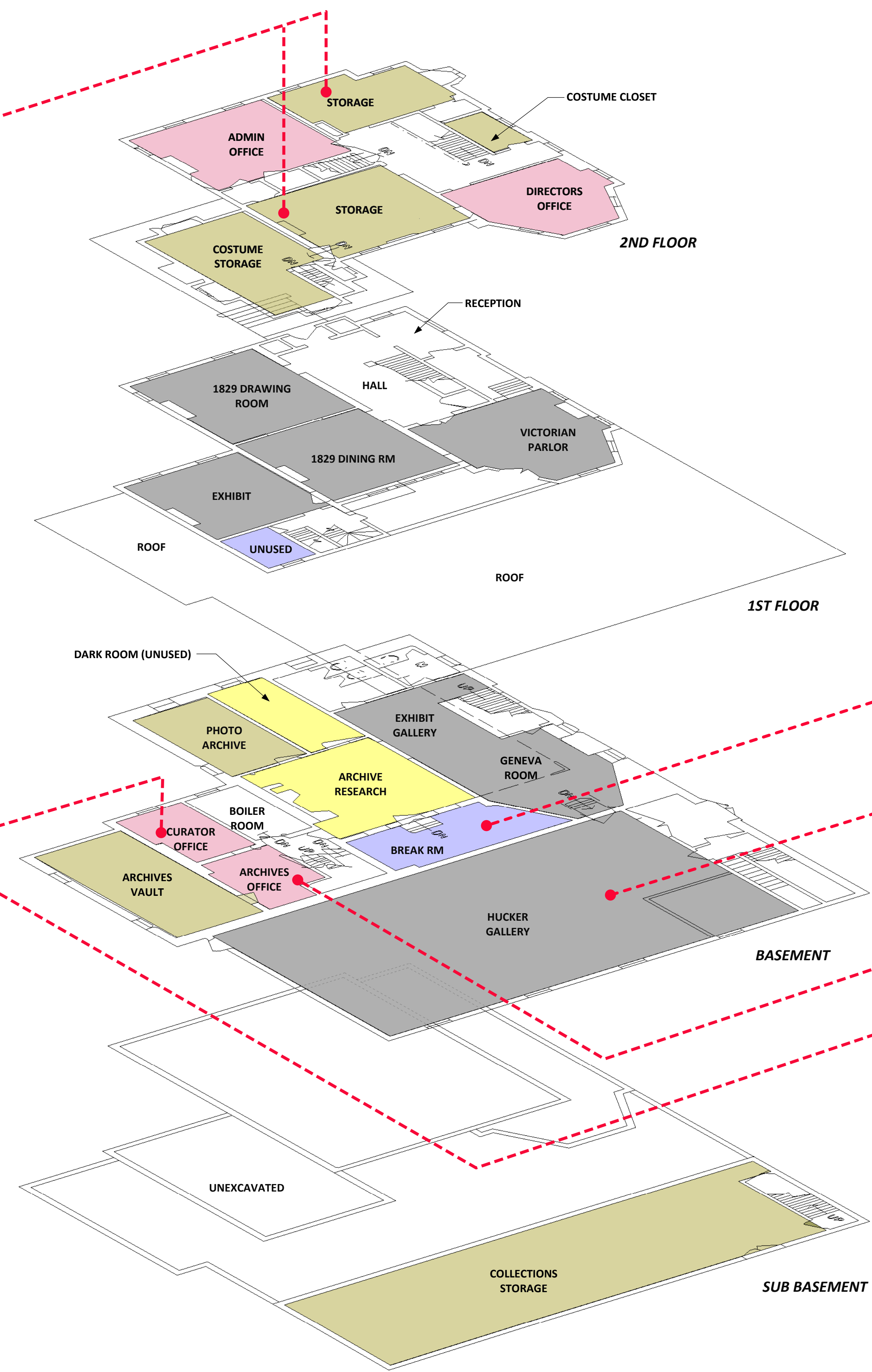


APPENDIX C

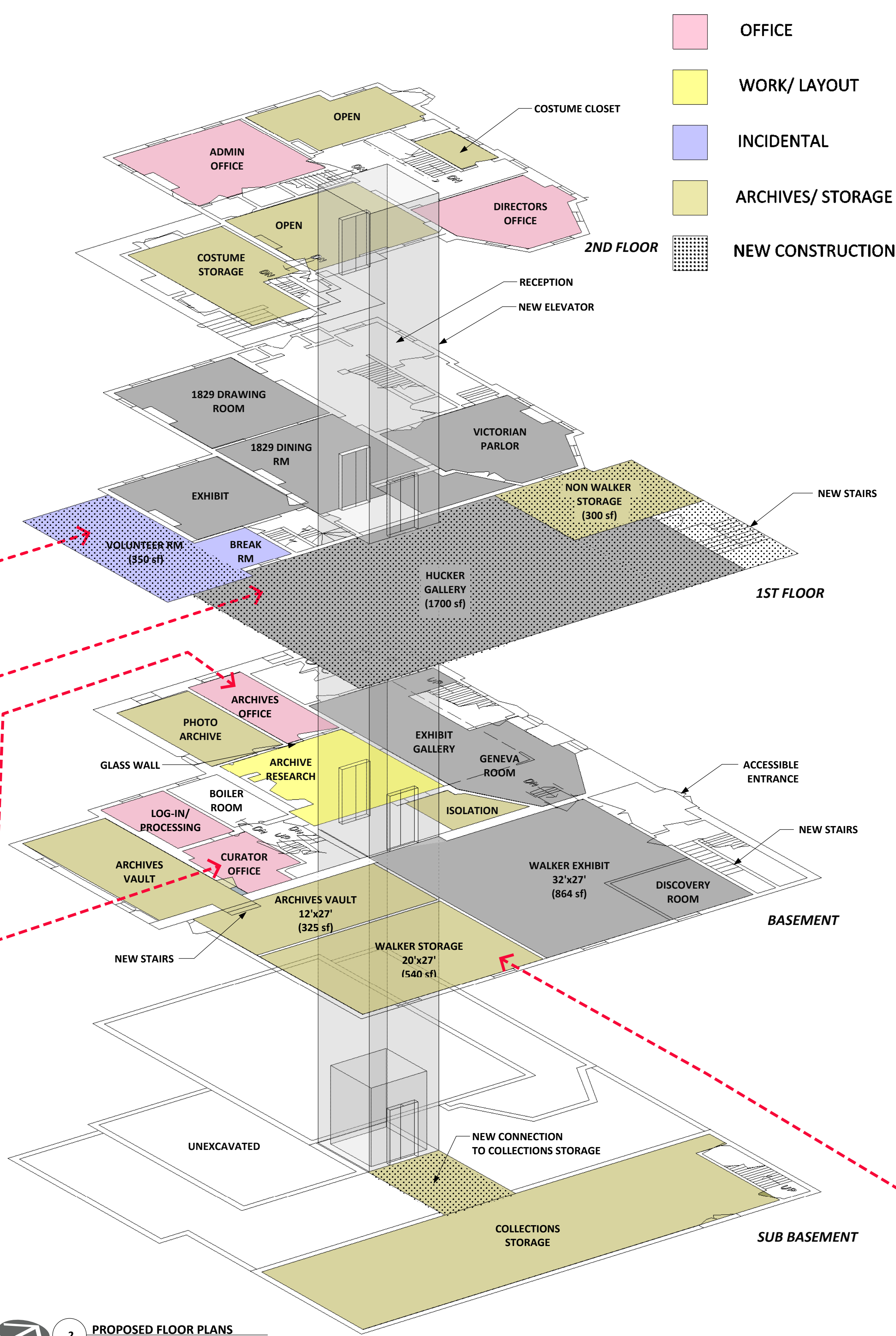
Original Proposed Concept Modifications to Prouty-Chew  
Estimate

**KEY**

- GALLERY/ EXHIBIT
- OFFICE
- WORK/ LAYOUT
- INCIDENTAL
- ARCHIVES/ STORAGE
- NEW CONSTRUCTION



**1** EXISTING FLOOR PLANS  
SCALE: N.T.S.



**2** PROPOSED FLOOR PLANS  
SCALE: N.T.S.

**Geneva Historical Society**  
Prouty-Chew House  
543 South Main Street  
Geneva, New York

Prouty-Chew House  
Feasibility Study

Geneva Historical Society Alterations  
Opinion of Probable Project Costs

September 1, 2016

	Qty	Unit	Cost / Unit	Between	
				Minimum	Maximum
<b>OPTION 1-ELEVATOR</b>					
<b>Demolition</b>					
Gutting interior, concrete flooring, hazardous abatement, temporary shoring, materials removal, and dump charges	1	ls	\$15,000.00	\$15,000	\$18,000
<b>New</b>					
Elevator	1	ls	\$150,000.00	150,000	180,000
<b>SUBTOTAL</b>				<b>\$165,000</b>	<b>\$198,000</b>
<i>Design and Construction Contingency</i>		20%		33,000	39,600
<b>SOFT COSTS</b>					
<i>Architectural fees, Code Review, legal costs, hazardous materials survey and testing, fund raising, temporary storage, insurance, equipment and furnishings</i>		25%		49,500	59,400
<b>TOTAL PROBABLE ELEVATOR COST - OPTION 1</b>				<b>\$247,500</b>	<b>\$297,000</b>

<b>OPTION 2-Renovations &amp; Additions for Archives, Walker (Storage), Walker Exhibit &amp; Non Walker 3D collections</b>					
<b>Demolition</b>					
Hucker Gallery Roof-Gutting interior, roof removal and dump charges	2,020	sf	\$10.00	\$20,200	\$24,200
Archives Vault Roof-Gutting interior, roof removal and dump charges	360	sf	\$10.00	\$3,600	\$4,300
<b>New Construction* **</b>					
Hucker Gallery w/ sprinkler system	2,020	sf	\$220.00	444,400	533,300
Volunteer Room w/ sprinkler system	360	sf	\$220.00	79,200	95,000
<b>SUBTOTAL</b>				<b>\$547,400</b>	<b>\$656,800</b>
<i>Design and Construction Contingency</i>		20%		109,500	131,400
<b>SOFT COSTS</b>					
<i>Architectural fees, Code Review, legal costs, hazardous materials survey and testing, fund raising, temporary storage, insurance, equipment and furnishings</i>		25%		164,200	197,100
<b>TOTAL PROBABLE RENOVATIONS &amp; ADDITIONS COST - OPTION 2</b>				<b>\$821,100</b>	<b>\$985,300</b>

\*Note: assumes existing construction/foundations can sustain second level-will require investigation

\*\* Note: Increase in sf cost for museum quality mechanical system (HVAC & Dehumidification)

<b>OPTION 3-Toilet Room Renovations</b>					
<b>Demolition</b>					
Existing toilet rooms and associated plumbing	160	sf	\$15.00	\$2,400	\$2,900
<b>New Construction</b>					
New toilet room renovations (accessible) Tile, plumbing fixtures, partitions, grab bars, mirrors	160	sf	\$150.00	24,000	28,800
<b>SUBTOTAL</b>				<b>\$26,400</b>	<b>\$31,700</b>
<i>Design and Construction Contingency</i>		20%		5,300	6,300
<b>SOFT COSTS</b>					
<i>Architectural fees, Code Review, legal costs, hazardous materials survey and testing, fund raising, temporary storage, insurance, equipment and furnishings</i>		25%		7,900	9,500
<b>TOTAL PROBABLE RENOVATIONS &amp; ADDITIONS COST - OPTION 3</b>				<b>\$39,600</b>	<b>\$47,500</b>

Geneva Historical Society Alterations  
 Opinion of Probable Project Costs

September 1, 2016

	Qty	Unit	Cost / Unit	Between	
				Minimum	Maximum
<b>OPTION 4-New Mechanical Systems (Existing Bldg)</b>					
Demolition	11,000	sf	\$2.00	\$22,000	\$26,400
New fan coil units with hot water heating coils & direct expansion (DX) cooling w/ air cooled condensing units on the room (museum quality)	11,000	sf	\$27.00	297,000	356,400
<b>SUBTOTAL</b>				<b>\$319,000</b>	<b>\$382,800</b>
<i>Design and Construction Contingency</i>		10%		31,900	38,300
<b>SOFT COSTS</b>		5%		17,500	21,100
<i>Architectural fees, Code Review, legal costs, hazardous materials survey and testing, fund raising, temporary storage, insurance, equipment and furnishings</i>					
<b>TOTAL PROBABLE RENOVATIONS &amp; ADDITIONS COST - OPTION 4</b>				<b>\$368,400</b>	<b>\$442,200</b>

<b>TOTAL ESTIMATED CONSTRUCTION COSTS</b>					
ELEVATOR	OPTION 1			\$247,500	\$297,000
RENOVATIONS & ADDITIONS	OPTION 2			\$821,100	\$985,300
TOILET ROOM RENOVATIONS	OPTION 3			\$39,600	\$47,500
NEW MECHANICAL SYSTEM-EXISTING BUILDING	OPTION 4			\$368,400	\$442,200
<b>TOTAL PROBABLE CONSTRUCTION COSTS - ALL OPTIONS</b>				<b>\$1,476,600</b>	<b>\$1,772,000</b>